



Arlington Conservation Commission

Date: Thursday, December 21, 2023

Time: 7:00 PM

Location: Conducted by Remote Participation.

Please register in advance for this meeting. Reference materials, instructions, and access information for this specific meeting will be available 48 hours prior to the meeting on the Commission's agenda and minutes page. This meeting will be conducted in a remote format consistent with Chapter 2 of the Acts of 2023, which further extends certain COVID-19 measures regarding remote participation in public meetings until March 31, 2025. Please note: Not all items listed may in fact be discussed and other items not listed may be brought up for discussion to the extent permitted by law. This agenda includes those matters which can be reasonably anticipated to be discussed at the meeting.

Agenda

1. Administrative

a. Correspondence Received.

All correspondence is available to the public. For a full list, contact the Conservation Agent at concomm@town.arlington.ma.us

2. Discussion

a. Mt. Gilboa Feasibility Study Update.

b. Chair/Vice Chair Transition Vote.

c. Annual Report.

d. Water Bodies Working Group.

Spy Pond Invasive Control Permit Request for Amendment to Order of Conditions (DEP #091-0344).

e. Artificial Turf Study Committee Update.

3. Hearings

Permit Extension: 51 Grove Street (DEP #091-0326).

Permit Extension: 51 Grove Street (DEP #091-0326).

This public hearing will consider an extension to the Order of conditions for construction of the Town Yard facilities at 51 Grove Street (DEP #091-0326).

Permit Amendment: 88 Coolidge Road (Continued from 06/01/23).

Permit Amendment: 88 Coolidge Road (Continued from 06/01/23).

This public hearing will consider the peer review report for an amendment to an Order of Conditions

for construction of a new house at 88 Coolidge Road in the Buffer Zone to a Bordering Vegetated Wetland.

Cookes Hollow Concernsus

Beth Melofchik <tankmadel@yahoo.com>

Wed 12/13/2023 9:47 AM

To:ConComm <ConComm@town.arlington.ma.us>;David Morgan <dmorgan@town.arlington.ma.us>
Cc:MARK WILKE <markwilke@verizon.net>;Shana Macks <saheller@gmail.com>;Ellen Cohen <elscorn@aol.com>;Stephen Makowka <joliesteve@gmail.com>;Elisabeth Carr-Jones <elisabeth@carr-jones.com>;Stephan Miller <steffmiller@mac.com>;Ann LeRoyer <annleroyer12@gmail.com>;Elaine Crowder <ecrowder@communication-exchange.com>;Lolly Bennett <ab.bennett147@gmail.com>;Susan Chapnick <s.chapnick@comcast.net>;Wynelle Evans <evco7@rcn.com>

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David Morgan, Conservation Agent, Environmental Planner

Hi David,

I have some concerns regarding the most recent meeting at Cookes Hollow. First, replacing the granite terracing and facing on the brook seems counter intuitive. There has been catastrophic failure of the engineering of this design. We are having more violent storms, more water flow with climate breakdown. Even this stop gap pending further information seems futile and possibly a waste of funds.

Who is the group speaking about design? Mark Wilke raised a very valid point regarding domination of the park by the boardwalk were it to go up the slope. Cookes Hollow is loved by its admirers for its very wildness, hidden park aspect. We do not want a new park, we want a restored bit of wildness, with the water flow needs addressed.

No paving is preferable. If the stone dust paths are done properly, with the swales beside would that handle the storm water?

Conservation land in Concord has benches upon footers, not concrete pads. If the proper care is taken, can we limit use of concrete and paving.

The Adirondack style granite and fieldstone benches atop the culvert should be preserved. That is the aesthetic, I think we are going for, thoughtful, reflecting a love of nature, respecting historic efforts.

The 2 granite benches at Mystic Street entrance are used by dog walkers, smokers, people with business at Police Dept and the garbage bin is used.

Granite was an integral part of the previous design, that is obvious. Could it be due to the mill buildings which previously stood here? How about a mill stone by the way?

There are numerous projects progressing: Foot of Rocks, Mt. Gilboa, various parks. Cookes Hollow is Conservation Land as is Mt. Gilboa. I hope the concerns of the neighbors and devotees will be given the same import as at Mt. Gilboa. Cookes Hollow is smaller but no less loved and prized. Let's respect this pocket park as Conservation Land and preserve it as a hidden wilderness wooded oasis.

Respectfully,
Beth Melofchik

Re: Wetland question

David Morgan <dmorgan@town.arlington.ma.us>

Tue 12/19/2023 9:13 AM

To:Jon Gersh <jgersh0923@gmail.com>;ConComm <ConComm@town.arlington.ma.us>

Hi Jon,

Thanks for your question. The short answer is that the wetland(s) at Poet's Corner will not be affected.

The lengthier answer is that the Inland Wetland District is too ill defined in the zoning bylaw to be applicable anywhere. The definition at 5.8.2. includes criteria that don't exist. Wetlands (with the exception of floodplain) are not defined by elevation, so definition A doesn't apply. Similarly, the Town does not have data on the depth to the water table except in individual cases where test pits are dug and monitored, which is seldom, and not town wide, so C is also out. My understanding is that the IWD is functionally inapplicable and so exists in name only; removing it would have no effect on which wetlands are protected or how.

Cheers,
David

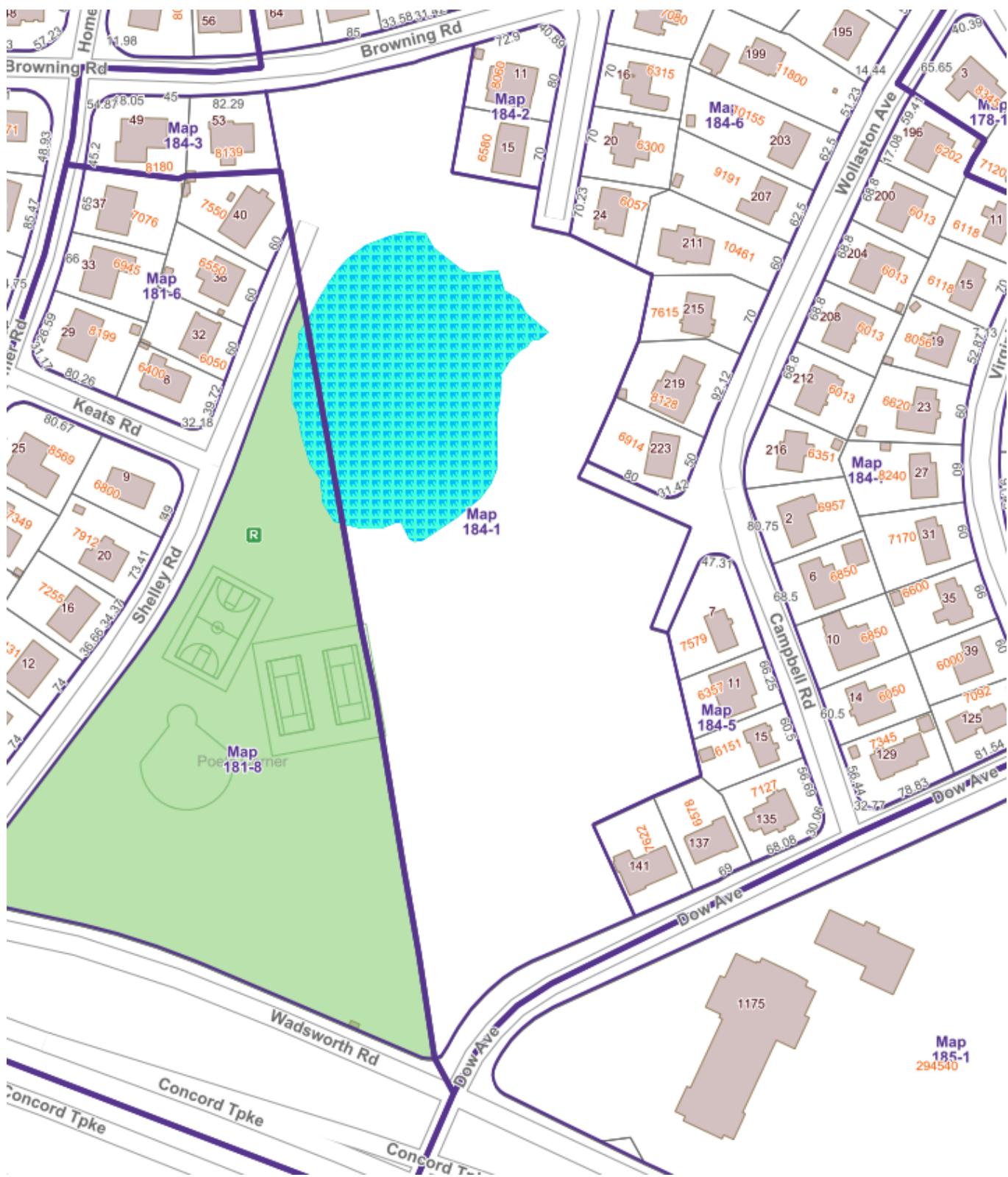
David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development |
781.316.3012 | [Please note I will be on leave from mid-January to early March, 2024.](#)

Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

From: Jon Gersh <jgersh0923@gmail.com>
Sent: Monday, December 18, 2023 2:39 PM
To: ConComm <ConComm@town.arlington.ma.us>
Subject: Wetland question

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

For tonight's meeting of the redevelopment board, which I believe you will be present at, can you please explain how the wetland at Poet's Corner would be affected by these proposed rulings? Thank you, Jon Gersh, Kipling Rd.



Fwd: Mount Gilboa House

Walter Mayne <walter@maynewoods.com>

Mon 12/18/2023 9:50 AM

To:David Morgan <dmorgan@town.arlington.ma.us>

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Thank you for forwarding to conservation Commission or whoever is managing the Mount Gilboa discussion.

----- Forwarded message -----

From: **Walter Mayne** <walter@maynewoods.com>

Date: Thu, Dec 14, 2023 at 12:09 PM

Subject: Mount Gilboa House

To: <concomm@town.arlington.ma.us>

Hello Conservation Commission.

I am a neighbor to Mount Gilboa and resident of precinct 21. I attended the neighborhood discussion of the Mount Gilboa property.

At the neighborhood meeting, there was significant pushback on using the term "repurpose" to describe the goals for the property. This was acknowledged to be a mistake and poor use of language by the presenters.

There's another term that was used by the consultants and town officials that should be questioned. That term is historic, in their presentation town officials describe the house as historic. It is part of a historic district, but according to the state inventory, it is not historic, in fact it has been described as having "no architectural significance". That description is from the [Massachusetts Historical Commission inventory](#).

ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

The building has no architectural significance, but it is sited on an extremely important high point, Mt. Gilboa, originally designated as a park site in the Crescent Hill subdivision of 1872. The open space as it is today encircles the house. It is without improvement or care.

Clearly, the historical commission is aware of the significance of the site, and that the house does not contribute to that significance, but by occupying the same land distracts from it. In the future, I think the house at the top of Mount Gilboa should be described using neutral language, such as old or 99 years old. Inaccurately describing the property as historic makes it seem wrong to think that the property would be improved by the removal of the structure. The prior plan for the neighborhood was that the hilltop be a park not a building site. The construction of a single-family house from what was previously intended to be a park was a failure by the town and the neighborhood developer to

implement their plan. Return Mount Gilboa to its historic state as a park, not to the more recent condition as a single-family home surrounded by open space.

Walter Mayne
33 Orient Ave
Arlington MA

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Walter Mayne
Mobil: (617) 908-1593

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Walter Mayne
Mobil: (617) 908-1593

Thorndike Place - Test Pits

DIEGO GIANOLO <diego.gianolio@comcast.net>

Fri 12/15/2023 1:20 PM

To:ConComm <ConComm@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Members of the Conservation Commission,

As a Dorothy Road resident, living directly across the street from the Mugar site in one of the newer townhouses, I have repeatedly experienced significant flooding. Thankfully, I have a dedicated sump pump system, and a French drain put in place by the developer, yet when the water table rises, all these systems are under stress and can barely manage the amount of underground water. I'm happy to send you videos I've made if they can help you visualize the reality we face in this area.

I have concerns relating to the test pits installed on the site by the developer. As I assume the test pits are in place to monitor the conditions of the site, what protocol is in place by the developer or the Town to monitor them, record date, time, conditions, water levels (in particular after a rain event), etc.? Should this information be made publicly available?

I work from home most days, walk my dog, and spend time in the yard, yet I have not seen anyone checking on these since they were installed. I bring this to the Commission's attention to clarify the process and how any analysis is to be used in determining the conditions of the site.

Thank you for your time and attention to this vulnerable area of the Town of Arlington.

Diego Gianolio
85 Dorothy Road
Arlington, MA 02474



Town of Arlington, Massachusetts

Mt. Gilboa Feasibility Study Update.

Summary:

Mt. Gilboa Feasibility Study Update.

ATTACHMENTS:

Type	File Name	Description
<input checked="" type="checkbox"/> Reference Material	Mt._Gilboa_Community_Input_to_Date.pdf	Mt. Gilboa Community Input to Date



SUMMARY OF COMMUNITY INPUT TO DATE

The following is a summary of stakeholder input into the Mt. Gilboa Feasibility Study. The summary is a result of compiling and culling through comments made at:

- Neighborhood Site Walk on December 2, 2023
- Neighborhood Forum on December 2, 2023
- Public Forum on December 4, 2023
- Email thread Mt. Gilboa/Crescent Hill Neighborhood
- Emails from individual stakeholders
- Six Word Stories¹

SIX WORD STORIES (submitted by residents)

"High on a hill, mystery abounds!"
- Brendyn Schneider

"Arlington's gift to Massachusetts: Governor's mansion"
- Timur Yontar, Town Meeting Member, Bates Road

"One cannot "improve" a natural habitat."
- Anonymous

"Leave no trace on Mt Gilboa"
- Anonymous

"Keep animals' homes wild, secret, safe."
- Anonymous

¹ A six-word story is six words that describe a situation, express a feeling, or share a vision for the future... a way to get to the heart of the matter.

KEY TAKEAWAYS

The following are key takeaways based on a review of public input to date.

Discussion in all forums has been animated; participants express much passion for **keeping the wooded area of Mt. Gilboa as a conservation area, that is, as natural as possible.**

Often this was expressed as “do nothing.” There was significant agreement that removing invasive species and planting additional native species were welcome improvements.

Some participants were in favor of a “Friends Group” to help maintain and keep the area clean. Yet others thought that defining the edges and the boundaries between public and private property would be helpful, but they were not in favor of what they saw as “intervention” in the woods themselves. A few participants thought additional amenities such as benches, more information about the trails and rules of conduct at the trailheads, and more poems would be desirable. In terms of ADA compliance, some felt it was unnecessary and asked how it was that other hiking areas such as Whipple Hill are not ADA compliant. However, there was agreement among some participants that a section of the trail could be made more accessible without touching the rest of the property. More information regarding ADA requirements was requested.

A large number of residents in the fairly dense neighborhood utilize Mt. Gilboa for a **number of activities**, often on a daily basis. Some see the wooded area as an extension of their back yards and a shared community space for enjoying nature as well as connecting different parts of the neighborhood. Neighbors enjoy Mt. Gilboa in a number of ways including for bird watching, dog walking, observing nature, walking to and from school, getting lost in the woods and sitting on large rocks to experience the peace and quiet.

The number one concern expressed is a fear that the attention being given to Mt. Gilboa will result in transforming the area into a park rather than a wild place for habitat. Additional concerns include: broken glass, trash and dog waste; invasive species; off-leash dogs; and unclear boundaries between public and private land.

Generally speaking, there was much more discussion regarding protecting the wooded areas of Mt. Gilboa than of the future of the historic house and garage. Also, there was much more agreement regarding a shared desired future of the woods than there was regarding the future of the house.

The future of the house and garage will need additional discussion. Participants for the most part seemed to appreciate the historic nature of the house, both architecturally speaking as well as the role it has played over time, however they expressed a number of concerns including:

- if rented as a private residence as it has been in the past, it makes the driveway a private space and therefore unwelcoming

- if it is reused for a public use, it will increase traffic and parking on dead end streets surrounding the wooded area
- expense of renovating the house and bringing it up to code, including ADA
- financing maintenance of the house
- a use that will attract more people will mean that more people will walk in the woods and disturb nature

There is no clear consensus regarding how to address these concerns. Opinions range from preserving the house, demolishing it, moving the building, or keeping only the staircase and building a viewing platform at the top. Another idea offered was to demolish the house, and add interpretive plaques with photos of the house and a description of its role in history. A “low impact” or “quiet” use was repeatedly called for. Reuse ideas include:

- Housing
- Artists studios
- Neighborhood community center
- Refugee housing
- Subsidized housing
- Housing for town employee
- Adult day care center
- Youth center
- Transfer property to the Arlington Housing Authority
- Co-work space
- Conservation Commission offices
- Restore house as a retreat and education center
- Artists residency (Arlington poet laureate and/or painters subsidized housing)
- Peace-building dialogue center
- Nature/ecology protection/conservation and learning center for children
- Wilderness/arts center
- Use as subsidized housing (2-3 units)
- Use as a conference center/events/ arts/conservation /cultural center/residency
- Caretaker's apartment

There is **misinformation** about several aspects of Mount Gilboa, including (1) the condition of the house; (2) protection provided by its designation as conservation land; (3) requirements about the need to make the property ADA-compliant; (4) the long-term impact of minimal or no forest management on the property's biodiversity.

There seems to be a **lack of trust**, presumably based on past experiences where reportedly residents' voices were not solicited and/or respected in a public process. Also, because of an increase in development there is concern that all parcels, including Town-owned conservation lands, are vulnerable to development pressures. Additionally, it is seen by many that Arlington has fewer open spaces, especially “wild” ones than surrounding communities, and there is a very strong desire to hold on to Mount Gilboa as a wild, wooded area. This holds true for immediate abutters, but also for those who are within walkable proximity.

Compiled responses to the question²:
"If you could do one thing to improve Mt. Gilboa what would it be?

One thing	Comments	# of groups	# of dots ³
Nothing, Keep as is	Leave land as is Hands off the woods Ecological site for preservation	5	81
Remove house	Garage and asphalt	5	39
Remove invasive species	And more planting of native species Small scale removal Habitat restoration	5	36
Explore alternatives for public use of house	Wilderness/Art Center (9) Artists Studios (9) Neighborhood community center (6) Nature education ((1))	4	33
Repair house	For residential rental Bring up to code to keep as historic	3	25
Legal protection	Land and views, make official conservation land (like AGM)	1	14
Move house offsite	And restore habitat	1	14
Eliminate feasibility studies		1	9
Remove asphalt	At top	2	8
Keep staircase only	Build observation platform	1	7
Install a bench		1	7
Improve conditions for wildlife/habitat		1	6
Only define edges	Avoid trail maps Instead of signage - website, App, QR	1	5
Improve trail definition		1	4
Prohibit dog use		1	4
Reuse Housing for Refugees	And caretaker on the premises	1	4
Place interpretive signage	Wild life, history	1	3
Regulate dog use		1	2
Trash clean up		1	2
Dedicated caretaker		1	1

² Responses compiled from small group discussions on Dec. 2 (four groups) and Dec. 4 (four groups) for a total of 8 groups (one of which did not prioritize their responses to this question).

³ Participants were given 5 dots and they were instructed to use up to 3 dots on any one item.

SUMMARY OF INPUT FROM NEIGHBORHOOD FORUM

Saturday, December 2, 2023

Neighborhood Site Walk 2:00–3:30 PM

Peirce Elementary School 4:00 PM–6:00 PM

Purpose of Neighborhood Forum: *To invite the neighbors of Mt. Gilboa/Crescent Hill to come together and generate ideas that will create a shared vision and goals for the future of Mt. Gilboa. This in turn will be used as the foundation for an action plan that will outline the steps necessary to attain this vision.*

The forum was held in two parts: 1) a site walk with several stops – at each stop the Consultant Team asked the participants a series of questions (responses were recorded; notes were also taken) and 2) a forum held at the Peirce Elementary School included a brief presentation by the Consultants and facilitated small group discussions. There were approximately 40 persons present at the site walk, many of whom attended the forum at the school; a total of approximately 50 attended the forum.

The following is a summary of the input from participants at both the site walk and the forum. The summary identifies areas of consensus as well as ideas about which there was no clear consensus.

SITE WALK: DECEMBER 2, 2023

There were over 40 participants in the Site Walk. Participants were asked the following questions:

Access to Site

- Getting to Mt. Gilboa
- Parking

Trailhead

- Is this the best location?
- Interest in expanding the type of information provided @ the kiosk (e.g. bird sightings, other?)

Trail Conditions

- Maintenance
- Indicate level of difficulty?
- Convert lower trail to ADA compliance?

Views: Interest in improving/increasing views through selective cutting?

House and Garage

- Issues surrounding
- Ideas regarding reuse

What do people want to know about Mt. Gilboa?

- Interest in info signage re: flora and fauna?
- Historic interpretation: site and house?
- Other?

What do people most want to do at Mt. Gilboa?

- Walk dogs
- Bird watch
- Walk
- Rest on rocks

All who attended the site walk were neighbors that lived within walking distance of Mt. Gilboa. Most very frequently walked through the woods and highly valued the experience. Residents reported accessing Mt. Gilboa from the entrance that is closest to their house with most people coming from the entrance located at the kiosk. The majority of participants were in favor of minimal improvements to the wooded area and expressed concern that the natural wildness they very much appreciated would be disrupted if too many improvements (such as signage in the woods) were made. There were many ideas regarding what to do with the historic house on the property, but no consensus on any one idea.

The following comments were made along the way:

- Signage at area parking places could direct people to hiking areas
- Mt. Gilboa is a stop over for Migratory birds
- Since house has been empty have noticed significant increase in wildlife
- There should be fewer people; they pollute, also dogs chase animals
- I don't want this to turn into Whipple Hill (with dog waste, off-leash dogs, cigarette butts and too many people).
- I walk quietly.
- Encouraging more humans to the site can only lead to degradation.
- It's hard for us to fully explain our feelings about the site; it will be easier when we have a concept to react to.
- Put trailhead at other entrances as well so that this entrance is not so crowded
- Have map with clear trails and reduce impact on environment
- Where does property end? Sometimes it is hard to know where public and private boundaries are (a couple of residents reported that people frequently go onto their property not knowing that they are no longer on Mt. Gilboa land)
- People just don't know where the property ends.
- It might be helpful to have a map or otherwise indicate where the trails are
- Glacial rock formations - add markers
- What are daily usage numbers?
- It's a neighborhood park
- There is a great variety of wildlife here
- We could add an acknowledgement at the trailhead stating that some trails are unmarked and rocky



Some of the participants on the site walk,
December 2, 2023

- *Why do we need to make it ADA compliant? Why can't we just leave it alone?*
- *How can we include ADA in some section, the lower trail seems most appropriate.*
- *Sometimes it's nice to have to pay attention... to get lost... this is different from other places in town... it contributes to the diversity of places... we don't want it to be the same as others.*
- *Personally, I would appreciate having some aspect of the site being accessible, an area that doesn't require a huge intervention. The lower trail seems like a good candidate.*
- *Use colored dots to indicate level of difficulty.*
- *Any kind of marking feels like development to me, an encroachment of the outside and I resent it.*
- *Get rid of invasive plants*
- *Amazing that it's so quiet*
- *As soon as you walk up the hill everyone says hello*
- *It's incredible, unusual, a sense of peace here, a restorative space*
- *We are defending that sense of peace*
- *Is doing nothing on the table?*
- *When you ask all these questions it feels like you want to make big changes and that you have already decided what the concept is*
- *Increasing dogs and people is the opposite of conservation*
- *The fact that it is on top of the hill and you can watch the sun go down, it's so special*
- *A place for children to have a place to explore*
- *When I come here I rarely see other people and when I do, I usually know them*
- *It can be used as outdoor classroom for environmental education*
- *There are some year-round views of Boston, no need to cut trees to create more views; people can go to Skyline Park for views of Boston's skyline.*
- *Add more native plants*
- *Don't remove any trees*
- *We are very concerned about parking and traffic congestion (on streets and in woods); will there be a parking and traffic impact analysis conducted as part of this study?*
- *Use some asphalt for parking*
- *Dedicate a bench*
- *Neighborhood voices should be heard loudly*
- *My number one priority is conservation*
- *We have plenty of touched places, we want this one to be untouched.*
- *The "forest way" home from school (many parents prefer that their children walk to and from school through Mt. Gilboa than on streets busy with automobiles)*
- *My kids used to walk to school through here. I have a lot of wonderful memories of that as do they. Kids that have these experiences and grow up to be voters and donors protect the environment because they have experienced it.*

HOUSE

- *Renting may have the least impact*
- *Take the house down, put up sign with photos of house*
- *Let's get rid of the house, it's an eyesore*
- *Leave house as a ruin*
- *Would it be cheaper to tear it down than to renovate and rent it?*
- *It's not the Town's business to get into renting*
- *I would love to have a tour of the inside*
- *If we sold it that would be great revenue... and if we are considering renting it, then someone is going to be living there anyway*
- *It seems that for any public use, it would need to be ADA compliant and that would be very costly. If rented we would only need to make reasonable accommodations if someone requested them, so maybe find a quiet tenant who wants to live in a nature preserve.*
- *I never come up this way. The no trespassing signs make it feel like it is private property. Make it more accessible to the public.*
- *Either convert the house into something we can use or get rid of it*
- *When I first moved here I wasn't sure whether this was private or public property*
- *I am in favor of taking the house down and that would create views. Restore the site to the history of before the house was built. Take a photo of the house and put up an interpretive plaque, that way preserving and telling the house's history.*
- *Use some of the asphalted space for parking so that people don't park in front of people's houses.*



NEIGHBORHOOD CONVERSATION: DECEMBER 2, 2023, 4:00 PM – 6:00 PM

Approximately 50 people attended the forum, almost half had not been at the site walk held earlier in the day.

Favorite Features to Preserve: *Neighbors use the trails, many on a daily basis to walk to and from school, as a refuge, as a place of peace and quiet. They are most appreciative of what they see as a precious “wild,” natural, neighborhood asset and are very much interested in preserving the area “as is.” What they most appreciate:*

- wilderness/wildlife/wilderness in otherwise urban fabric
- trails
- geology
- untouched environment
- natural habitat (e.g. fox, coyotes)
- birding
- peacefulness
- Walking/exercise
- Safe natural space for children

Also:

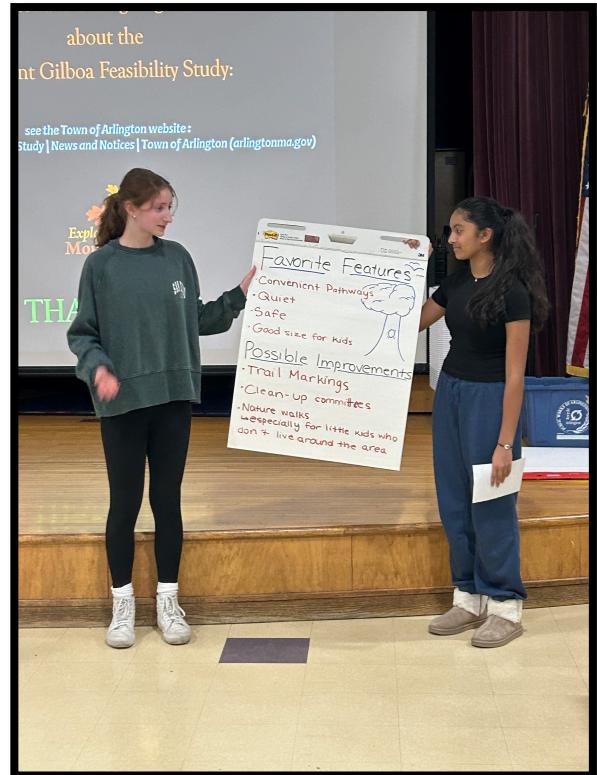
- You can get lost there
- Proximity to homes, easy to get to
- Subtle entrances – low key
- Healing
- Solitude
- Rocky vistas

Concerns to Address: *The number one concern was a fear that the discussion regarding making improvements to the site would include disturbing natural elements and wildlife and, that it would be converted into a park instead of what is seen as a wilderness refuge. Other concerns include:*

- litter/broken glass
- impact of attracting more people on traffic, parking, and natural features
- off-leash dogs. dog waste, too many dogs/use by dog-walkers
- invasive plants
- unclear boundaries
- what to do about the house

Also:

- barbed wire
- too small
- icy



Teen Voice, Dec. 2, 2023

- runoff from driveway
- remnant human landscape elements
- views obstructed by house
- Town's utilities disrupt with noise and construction
- Could be more wild
- Steps in woods (intervention into nature)
- Amount of parking
- Unclear trails

Potential Improvements to Consider: *While most of the participants would like there to be a minimal of intervention/improvement to the site, there was agreement among many regarding the removal of invasive plants and some planting of additional native plants. Other "improvements" mentioned by some participants, include:*

- Keep as is, do nothing
- memorial bench for resting
- more places for poems (ephemeral)
- clarify where trails are and where boundaries of Mt. Gilboa end (public/private delineation)
- legal protection of conservation land

Also:

- remove kiosk and trail marking to discourage use
- remove house, driveway and garage
- improve conditions for wildlife/habitat
- interpretative signs at trail heads (but minimal)
- additional trailheads at other entrances
- post rules about dog use
- remove asphalt at top
- trash barrel and pick up
- leaf clearing
- re-grade main trail
- remove house
- neighborhood hikes
- reuse house for artists' studios
- ecological enhancement (planting, erosion control, waste management)

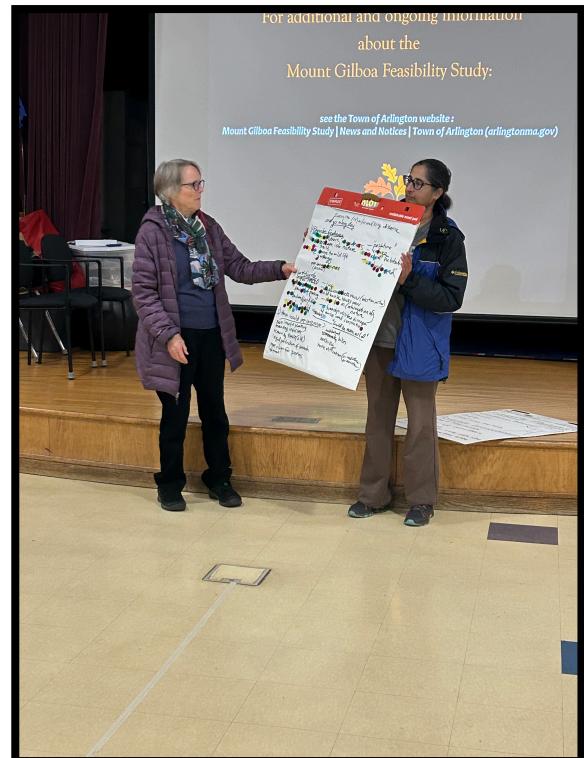
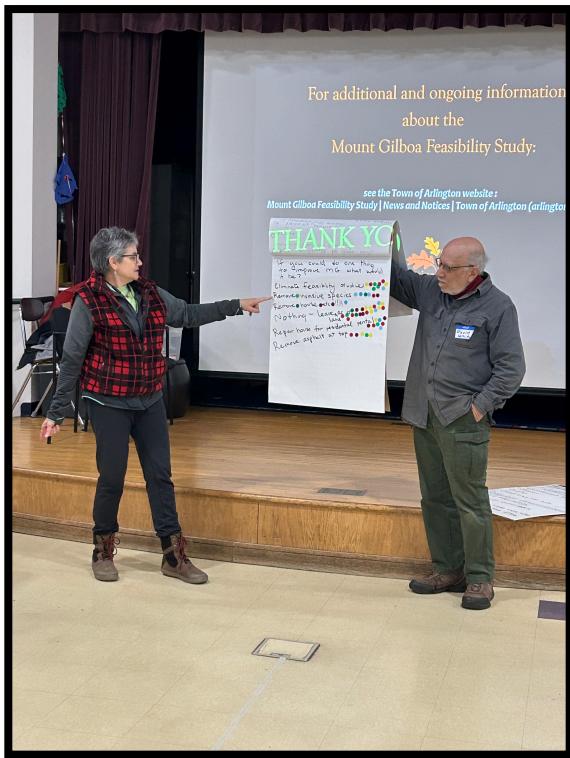
Future of House and Garage: Needs Further Discussion: *The future use of house and garage was the topic that inspired much discussion, but garnered the least agreement among participants. Some appreciate the architecture and history that the house represents, others see it as dilapidated and fear that its reuse would potentially lead to an increase in parking and traffic in the surrounding neighborhood. Ideas regarding what to do with the house range from demolishing, to moving, to reusing the building for a number of uses. One group articulated shared objectives regarding what they feel should not happen with the house, mainly: Do not use for ways that increase traffic in the neighborhood and do not demolish to build more housing. Ideas included:*

- demolish it
- move it
- reuse as housing, artists' studios

**Mt. Gilboa Feasibility Study
Arlington, Massachusetts**

12/13/23

- sell it
- rent
- community use
- use by town employee
- if feasible restore and rent
- clubhouse for neighborhood
- save staircase and build observation deck for enjoyment of views
- remove asphalt at top
- consider financial impact
- concern about increase in traffic, depending on use



Small group report back to large group,
Dec. 2, 2023

SUMMARY OF INPUT FROM PUBLIC FORUM

Monday, December 4, 2023
Peirce Elementary School 7:00 PM–9:00 PM

Purpose of Public Forum: *To invite the residents of Arlington to come together and generate ideas that will create a shared vision and goals for the future of Mt. Gilboa. This in turn will be used as the foundation for an action plan that will outline the steps necessary to attain this vision.*

Approximately 40 people attended the forum. Several attendees had also been at the previous forum held on Saturday afternoon. All attendees reported visiting the site frequently, many on a daily basis.

Favorite Features to Preserve:

Participants expressed a strong interest in preserving the “wildness” and natural feel of the woods. They most appreciate:

- Wildness and wildlife refuge
- Untouched, unenhanced / blended with nature
- Trees, tree canopy
- Nature

Also:

- Historic house and iconic vista
- Trails and views
- Not over used
- Quiet

Concerns to Address: *Participants were most concerned that the Feasibility Study would result in making unwanted changes to the area. They also passionately expressed a concern that decisions have already been made regarding what “improvements” will be made to Mt. Gilboa and that their voices will not be heard or considered.*

They were also concerned about:

- Broken glass and trash, dog waste (human impacts)
- Invasive species



Teen Voice, Public Forum, December 4, 2023

Also:

- That a decision has already been made
- How will the house and whatever happens to it be insulated from surrounding natural space
- Vision of a “pure” natural conservation zone is not compatible with coupled human-environment and access to diverse populations
- Lack of trust that town will listen to community desires
- How to respond to densely populated and increasing population
- Desire for regenerative / creative use for the space
- Concerns about protecting from overuse
- Concerns that process captures only loudest voices
- Off-leash dogs
- Runoff/erosion on paths
- Public mis-use
- House /driveway/garage including ambiguity /safety/security
- Obscure trails uneven
- Lack of protection of views (neighbor obscuring views)
- Feels unwelcoming
- Dilapidated house and financing maintenance
- House not open to the public
- Difficult public access/stEEP

Potential Improvements to Consider: *There was much concern expressed regarding how the term “improvements” is defined. Most participants did not want to add any signs of human intervention into what they see as a wild site. Almost all agreed that removing invasive plants is a welcome improvement. A number also felt that cleaning trash and dog waste would help to keep the site better maintained.*

- Remove invasive plants
- Do nothing

Also:

- Town-supported “Friends of Gilboa” to do maintenance with support of Conservation Commission
- Add security to address mis-use: surveillance features
- Two benches (wooden)
- Youth environmental education and conservation engagement (community service opportunity)
- Events for maintenance and clean up (trail maintenance and invasive management)
- Guidebook of birds/vegetation (maps without signage)
- Restore habitat
- Greater legal protection
- Trash clean up
- Access to house site/ views
- Move house offsite and restore habitat

- Restore house
- Hands off the woods
- Dedicated caretaker

Future of House and Garage: Needs Further Discussion: *There was no significant agreement regarding a desired future for the house and garage. In fact, there were many contradictory ideas offered that ranged from demolishing it, relocating it, and reusing it for private as well as public use.*

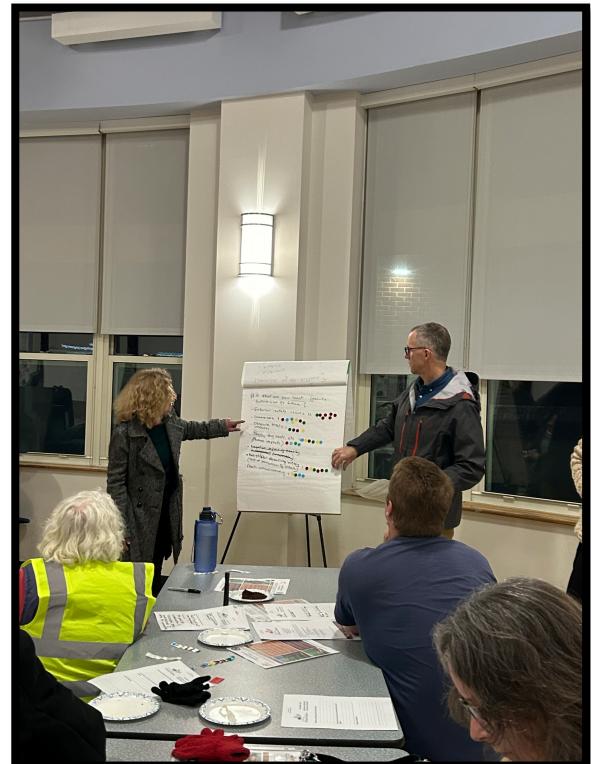
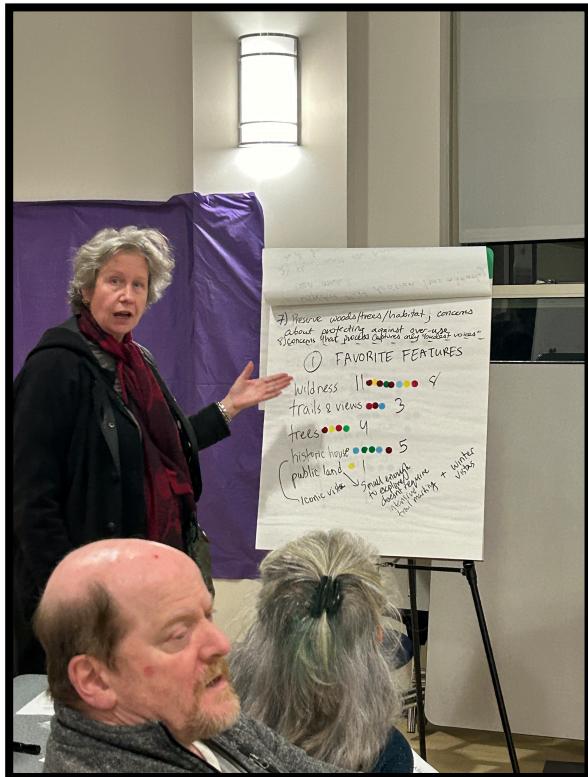
- Remove house and garage and pavement and replant
- Restore house as a retreat and education center, artists residency (Arlington poet laureate and/or painters subsidized housing), peace-building dialogue center, low-impact public use, nature/ecology protection/conservation and learning center for children, wilderness/arts center, a neighborhood community center, Use as subsidized housing (2-3 units), use as a conference center/events/ arts/conservation /cultural center/residency, use for refugee/immigrant housing, Caretaker's apartment, etc.

Also:

- Stop deterioration of the house (not the same as fixing it)
- Lots of people coming and going is a bad thing
- Putting a number of parking spaces next to the house is a bad thing
- Take the garage down and bring the house up to code
- Move house to elsewhere in town (maybe Reservoir Beach)
- Protect ecology
- Retain public access to the site
- Long term lease to preservation organization or any responsible group
- Lease for conservation to generate income
- If all else fails and the town cannot do anything, move the house, keep the staircase, and use the foundation to create an observation point
- Minimum renovation for single family
- Bring the house up to code and keep it as an historic site
- The house makes the woods unique and gives them a certain feeling
- If the house is kept, it should be acknowledged as part of the open space

Neighbors who had attended the neighborhood forum on Saturday were asked to form a separate group so that they could have an opportunity to further discuss relevant issues (and not answer the same questions for a second time). When asked why they came to this forum (a repeat of the one held specifically for them two days earlier), they responded that they wanted to be sure that their voices were heard and that they wanted to emphasize their points. One of the neighbors asked for a show of hands to demonstrate agreement with the following statement: "**We want an ecological site for preservation and not a human-centric park.**" A large majority of the forum participants raised their hands. The group spent some time discussing what this meant to them:

- No repurposing, no enhancing
- Don't be human centric
- Wild space, preserve as is
- Only define the edges
- Avoid trail maps
- Remove asphalt
- Instead of signage post information on a website and/or App/QR code and only at the entrances at the edges
- Support bio-diversity



Small group report back to large group,
Dec. 4, 2023

REPRESENTATIVE QUOTES

(from written responses to questions at forums on Dec. 2 (25 respondents) and Dec. 4, 2023 (8 respondents)

Memories of first time at Mt. Gilboa

"Collected acorns with my son and it was beautiful"

"I lived in Somerville in 1980s and was looking for a place to rock climb. I studied a topographical map and found the cliff at Mt. Gilboa and its partially conserved land."

"Amazing to have a section of "untouched" forest and natural space a few steps away from home."

"Picking wild blueberries."

"So surprised to find an unimproved pocket of land in the middle of the neighborhood. Went for a walk with our kids the day we moved into Crescent Hill Avenue."

"Our first visit was when we looked to purchase our home. The nature conservation land is one the reasons we choose to buy our house."

"The first week I move in (2016) I enjoyed the fact that I lived next to an untouched wilderness area that was peaceful. I hiked, saw the sunset and read poems from people. Just beautiful as is."

"I was delighted to discover some wilderness right in my neighborhood. I loved the hilly climb and subtle trails and abundance of trees."

"Twelve years ago I discovered Mt. Gilboa and wondered where it would lead to. I don't like to walk on streets so I was so grateful to find this peaceful area near my home to contemplate nature."

"Discovering a secret treasure in our neighborhood."

"Walked with my dog. My first impression: lucky to live so close to the woods."

"1999 – I thought wow! What a great resource."

"October 5, 1996 visiting my (now) house with the real estate agent- a 70 year old (since died) neighbor walked out of Mt. Gilboa woods with her hands full of mushrooms she had collected there. It was love at first sight for me – wild open land, mushrooms, great neighbors, contact with natural space."

"Wow, what a wonderful (hidden?) resource."

"I took my 2-year old on a Sunday morning and it was magical. We went to the rock and saw the views and enjoyed the wildness."

"I bought a house next to the land in 2005. I walked the area and it was a primary reason I bought the house. I have an amazing view from the top of rocks overlooking Westminster Ave."

"Magical, peaceful, beautiful, a real treasure. I walked through with my then young kids (3)."

"It was the reason I purchased my home. I walk in the woods every day."

"I went to Mt. Gilboa for the first time in 1989. I loved the peaceful, quite of the area. I walked all over."

"2003, newly arrived to the neighborhood. Delighted for open, quite space at the end of our street. It was our walking path to Peirce; we've had birthday party picnics there too."

Favorite thing to do at Mt. Gilboa

"hiking with my children, walking our dog, especially walking kids to school each day."

"Walks with less traffic; nature-friendly people."

"observe nature"

"Enjoy and observe wildlife passively and actively"

"Hike and walk the dog; let the children explore, walk through to school every day; be in a quiet, natural space."

"Being there with friends; seeing Boston; listening to birds."

"Thanksgiving Day walk, Christmas walk, walk after first snow, autumn walk, full moon walk"

"Walk my kids to school. Allow my children to be in a natural space without pavement (much)."

"Peaceful walks, watching nature, walking through undeveloped forest areas."

"Walking my dog. Enjoying the sunlight through the trees, the solitude, the unexpected: will I see any wildlife?"

"Walk, sit on a sun-warmed rock and look at the clouds overhead, or the sky through the trees."

"Walking my dog; healing space; hiking/exercising; experiencing and enjoying wildlife, e.g. I just saw a coy wolf this afternoon!"

"Walk for fun and as a pleasant route to other destinations."

"Walking, thinking, breathing."

"just walking, wandering – discovering new paths, areas, views WITHOUT signage to tell me where I am. It's wild and rocky and natural. I like watching huge oak trees grow, lose limbs, decompose over the years without human intervention. Sit on rock ledges, alone."

"Walk alone or with my dog and observe the sounds and sights around me."

"Walk, see the views, escape."

"Hiking the loop around the house."

"I am in the woods of Mt. Gilboa 2-3 times daily. I walk my dogs; sometimes I go to sit and write or read."

"I love just the quietness and wildness. A walk in the woods is a wonderful way to reset, connect with nature. It's a beautiful wonderful spot."

"Go for walks, watch the season's change, restorative sense of being in nature."

"It's such a treat to have a neighborhood park where my children feel safe to build fairy houses."

What makes Mt. Gilboa special?

"It is an unusually wild place in an area that has very little green space."

"Undeveloped natural wilderness."

"wild space"

"elevation, views, and large unmanicured woods"

"The wildness of it, even surrounded by roads and houses."

"That it feels like finding your very own woodland paradise; like you could almost be in the Berkshires except you're right outside Boston."

Concerns about the future of Mt. Gilboa

"Leave it alone; do not improve; it's just left wild"

"Do not improve it; do not increase foot traffic."

"My main concern is that the wildness of the area will be compromised. It's important to me that the ecology of the area be protected."

"Remove invasive species."

"Preserve the house or move it."

"That it might get overdeveloped."

"Don't build new trails, leave it as is. Regarding the house: remove it."

"Restore the house for meeting space for arts and NGOs."

"The Town loves to "improve" things, spend money, and otherwise tinker with areas that could be better protected, as is. I don't want to see Mt. Gilboa targeted."

"I don't want more structures."

"Concerns about what will happen with house, invasive species, and erosion."

"loss of wildlife"

"Concern about increased human use making Mt. Gilboa less safe for wildlife."

"I am deeply concerned that enhancing the house's use to attract more people will be at the cost of negatively impacting the most important value of the parcel – the area as a conservation land."

"At some point in the future there will need to be a decision about whether to restore or tear down the house."

"Ruining its beauty, peacefulness, and safety."

"It is not a good place to build housing; open space is too precious in Arlington. Uses that don't respect nature."

"My concern is that this process will end with taking the natural elements away. The untouched aspects are so important in this urban environment."

"Please prevent major commercialization or renovations; worried about wildlife habitat and impacting environment."

"It would be a shame for the area to become less wild and quiet. There are so few spots of wilderness in Arlington at all. We must protect this area for wildlife also."

"With my neighborhood participating strongly in favor of protecting the wildness, I don't have any concerns."

"It needs to be left alone!! Please think for wildlife sake (plants and animals)!"

"The land should remain as is, rugged and wild. I am less concerned about what happens to the house/garage."

"The house falling down/being unsafe, overdevelopment, overuse."

"I do NOT want to see the trails/paths and land become human processed with signage, paved trails. Keep it raw and real, not another well-marked park."

"Afraid that "improvements" will destroy the wonderful existing wild space."

"I want the wildness preserved. I do not believe ADA compliance would be required; I will research. Don't increase traffic to the area (entrances are on side streets that dead-end; no capacity for additional traffic and parking). Please take close neighbors views more seriously than others."

"Would not like to see any landscaping or tree cutting; the space should be kept as wild as possible. We don't need to change every parcel of land to suit humans. No use of the house is consistent with this goal, so the house should be removed."

"I am desperate and passionate that it is left alone! The owl, fox, coyote(s)! Please!"

"Please don't change anything!!! I really don't want it to be developed or changed to a park or made ADA compliant (it doesn't' make sense in this space)."

"I want the land to stay as it is now. The house and garage could be taken down – leaving the land open."

"Traffic- increase in both cars for parking ad walkers. Huge increase in off-lease dogs at reservoir since the improvements there."

Other Comments

"The goals for conservation and recreation seem antithetical. I vote for conservation."

"Benches should be wooden, no plastic."

"Please no signage. I love the sense of being in the woods... which signage immediately ruins."

"I hope everyone can be respectful of one another in this process; think of the hard work the town workers are putting in, the high emotions everyone's carrying into this process. Be respectful of the histories everyone brings to this process. I hope the consultants can understand the tenuous history of woodlands and community development projects in Arlington and why emotions are running so high through this project."

SAMPLE THOUGHTS EXPRESSED IN NEIGHBORHOOD EMAIL THREAD

"There is a strong feeling that the woods should be kept completely wild and unimproved." No cutting of trees to open a view. Most, but not all seemed to want no benches, resurfacing of paths, or an increase in signage or marking of trails."

"My personal view is that [the house] is great looking, unique, and historical 99-year old house that should be preserved and put to the lowest-impact use that can be found."

"Don't call in the wrecking ball yet, please. I love the house too and hope it stays but agree that, if it does, it should continue to be used "quietly."

"The woods should be left as pristine as possible."

"It is one of the few/only truly wild spaces in Arlington. In our yard we've had wild turkeys, foxes, coyotes (and of course countless rabbits) precisely because of that patch of land."

"It would be a shame to put our human fingerprints and needs all over it."

"Parking is already an issue."

"I like the concept of establishing a community center of some sort, however, the financial implications are significant."

"I think the priority should be the woods and the wildlife."

"If the house is to be used for any purpose, it should directly relate to nature conservation-a nature education center or something such as that."

"I love how you can see the house up on the hill from all the way over at the Res."

"Can you imagine somebody renting a room there [in the house] to write their novel, with the woods as their inspiration?"

"As Arlington confronts the tangible impacts of climate change, the preservation of our remaining woods becomes increasingly crucial."

"After COVID there has been more of a need for people to work from home... led to the rise of "co-working" spaces as many people don't have a home office. These are expensive and don't usually allow for occasional use – you have to sign up for a monthly fee... I think it would be tremendously useful to have rooms available for quiet work... Those who need occasional extra room for a project, artwork, etc. could also use this kind of space."

SAMPLE COMMENTS FROM EMAILS SENT BY STAKEHOLDERS

"The space would take a lot of work to make it usable by the general public, but can quickly be made a very comfortable rental house with fantastic magical surrounding woods which still supports coyotes, foxes, young eagles, red tailed hawks, Cooper's hawks, falcons in addition to the multiple types of local and migrating birds. There used to be many other local resident critters but the influx of humans during Covid caused a decline in sightings."

"I am writing to ask that you do not "improve" or "enhance" the woods of Mt. Gilboa and that you leave them alone. Natural woodlands like these are rare in Arlington and should not be changed or altered (it's reasonable to maintain the historic house)."

"I created the poetry board in 2014 (with David White's support and an eager group of Eagle Scouts earning a carpentry badge). I hope it can remain part of the Mt. Gilboa ecosystem."

"Mt. Gilboa in its current state is a haven for those of us who would prefer not to see signage, manicured paths, and other indications of management when we go for a walk in the woods. When I walk or run there, I can forget for a while that I'm surrounded by houses and roads and cars, and just turn my brain off! I can forget my profound sorrow about the state of our planet, and give thanks for this little spot of wildness in our dense community."

"I would love to see a park there for the community and of course, history about the place - who built a house that you can see for miles around? Was it a developer that owned a bunch of land? Was there a family there? It's always struck me as odd that something so visible doesn't have accessible info about it. Tours of the house would be great. Green space for outdoor movies, picnics, a spot to see the 4th of July fireworks - so much can be done up there! The trails are awesome too."

"My primary concern is how the existing house and other structures affect the experience of Mt. Gilboa as conservation land – as natural open space. Even though the house is owned by the Town, it has been rented out to private individuals as a residence, and that greatly inhibits general public's use of the very central and dominating space at the top."

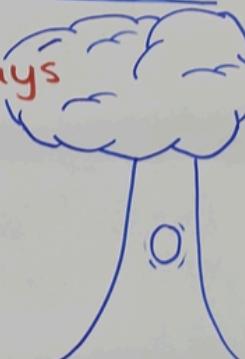
"As to the house, I hope that it will not be removed and replaced with a vista park, as this will mean tree removal and significant changes to the landscape. It would be a shame to destroy what instead could be converted into two or three units to add to our Subsidized Housing Inventory. I understand that the drive would need to be widened. and other updates made, but re-use of the house would be a fairly low impact way to add a small amount of housing. Not to mention keep a lot of waste out of a landfill."

TEEN VOICE

Input of teens attending the forums

Favorite Features

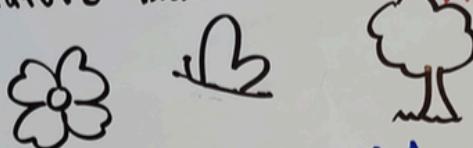
- Convenient Pathways
- Quiet
- Safe
- Good size for kids

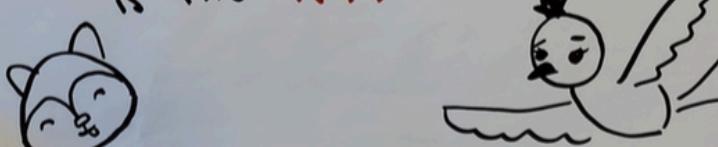


Possible Improvements

- Trail Markings
- Clean-up committees
- Nature walks
 - ↳ especially for little kids who don't live around the area

What Nature Means to ME

- Nature makes me feel **RELAXED**

- Nature helps to **CALM** me down

- my favorite part about nature is the **WILDLIFE**




Town of Arlington, Massachusetts

Permit Extension: 51 Grove Street (DEP #091-0326).

Summary:

Permit Extension: 51 Grove Street (DEP #091-0326).

This public hearing will consider an extension to the Order of conditions for construction of the Town Yard facilities at 51 Grove Street (DEP #091-0326).

ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	51_Grove_Street_Request_for_Permit_Extension.pdf	51 Grove Street Request for Permit Extension.pdf
<input type="checkbox"/> Reference Material	Arlington_DPW_OOC_compressed.pdf	Arlington DPW Order of Conditions



TOWN OF ARLINGTON

MASSACHUSETTS

To: Arlington Conservation Commission

From: Michael Rademacher, Director, Department of Public Works

Date: 11/15/23

Subject: Request for Extension of Order of Conditions #091-0326 for Work at the Town Yard Facilities

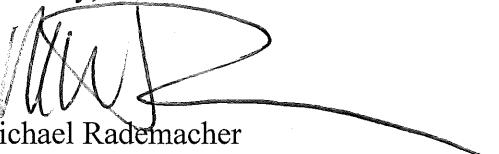
Dear Commissioners,

I am writing to request an extension of Order of Conditions #091-0326 for ongoing work at the Town Yard Facilities. The Order of Conditions was originally issued on 12/23/2020 and is set to expire on 12/23/2023.

I would appreciate the opportunity to discuss this request with you further at your meeting on December 21, 2023. Please do not hesitate to contact me if you have any questions.

Thank you for your time and consideration.

Sincerely,



Michael Rademacher
Director, Department of Public Works



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
091-0326
MassDEP File #

eDEP Transaction #
Arlington
City/Town

A. General Information

Please note:
this form has
been modified
with added
space to
accommodate
the Registry
of Deeds
Requirements

Important:
When filling
out forms on
the
computer,
use only the
tab key to
move your
cursor - do
not use the
return key.

1. From: Arlington
Conservation Commission

2. This issuance is for (check one): a. Order of Conditions b. Amended Order of Conditions

3. To: Applicant:

Mike	Rademacher
a. First Name	b. Last Name
Town of Arlington Department of Public Works	
c. Organization	
51 Grove Street	
d. Mailing Address	
Arlington	MA
e. City/Town	f. State
	02476
	g. Zip Code

4. Property Owner (if different from applicant):

a. First Name	b. Last Name
c. Organization	
d. Mailing Address	
e. City/Town	f. State
	g. Zip Code

5. Project Location:

51 Grove Street	Arlington
a. Street Address	b. City/Town
54-3-2.A	
c. Assessors Map/Plat Number	d. Parcel/Lot Number
Latitude and Longitude, if known:	42d25m10.95s
	71d9m49.85s
	d. Latitude
	e. Longitude



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0326

MassDEP File #

eDEP Transaction #

Arlington

City/Town

A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):

Middlesex South

a. County _____
9705 _____
c. Book _____

b. Certificate Number (if registered land) _____
6 _____
d. Page _____

7. Dates: a. Date Notice of Intent Filed 10/26/2020 b. Date Public Hearing Closed 12/03/2020 c. Date of Issuance 12/23/2020

8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):

See attached findings and special conditions

a. Plan Title _____
b. Prepared By _____
d. Final Revision Date _____
f. Additional Plan or Document Title _____

c. Signed and Stamped by _____
e. Scale _____
g. Date _____

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

a. Public Water Supply b. Land Containing Shellfish c. Prevention of Pollution
d. Private Water Supply e. Fisheries f. Protection of Wildlife Habitat
g. Groundwater Supply h. Storm Damage Prevention i. Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

a. the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
091-0326

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City/Town

B. Findings (cont.)

Denied because:

- b. the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	a. linear feet	b. linear feet	c. linear feet	d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	a. square feet	b. square feet	c. square feet	d. square feet
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	a. square feet e. c/y dredged	b. square feet f. c/y dredged	c. square feet	d. square feet
7. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	3,725 a. square feet 0 e. cubic feet	3,725 b. square feet 0 f. cubic feet	3,725 c. square feet g. cubic feet	3,725 d. square feet h. cubic feet
Cubic Feet Flood Storage				
8. <input type="checkbox"/> Isolated Land Subject to Flooding	a. square feet	b. square feet		
Cubic Feet Flood Storage	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9. <input checked="" type="checkbox"/> Riverfront Area	30,417 a. total sq. feet 16,973 c. square feet	30,417 b. total sq. feet 16,973 d. square feet		
Sq ft within 100 ft			e. square feet	f. square feet
Sq ft between 100-200 ft	13,444 g. square feet	13,444 h. square feet	i. square feet	j. square feet



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0326

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City/Town

B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet	c. c/y dredged	d. c/y dredged
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	c. cu yd	d. cu yd
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	c. cu yd	d. cu yd
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
19. <input type="checkbox"/> Land Containing Shellfish	c. c/y dredged	d. c/y dredged		
20. <input type="checkbox"/> Fish Runs	a. square feet	b. square feet	c. square feet	d. square feet
	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	a. c/y dredged	b. c/y dredged		
	a. square feet	b. square feet		
22. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0326

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Arlington

City/Town

B. Findings (cont.)

* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. Restoration/Enhancement *:

a. square feet of BVW

b. square feet of salt marsh

24. Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 12/23/2023 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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Bureau of Resource Protection - Wetlands**
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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]

"File Number 091-0326"

11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
(1) is subject to the Massachusetts Stormwater Standards
(2) is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;
- v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

- i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and
- ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

See attached findings and special conditions

20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No
2. The Arlington Conservation Commission hereby finds (check one that applies):
 - a. that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:
Arlington Bylaw for Wetlands Protection Title V, Art 8
1. Municipal Ordinance or Bylaw 2. Citation
3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.
The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):
See attached findings and special conditions



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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

12/23/2020

1. Date of Issuance

Please indicate the number of members who will sign this form.

4

This Order must be signed by a majority of the Conservation Commission.

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signature

Signature

Signature

Signature

Signature

Signature

Signature

Date

Susan Chapnick

Printed Name

Charles Irone

Printed Name

Pam Heidell

Printed Name

David Kaplan

Printed Name

Printed Name

Printed Name

Printed Name

Printed Name

by certified mail, return receipt requested, on

12/23/2020

Date



**Massachusetts Department of Environmental Protection
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G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Arlington

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Arlington

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

51 Grove Street

Project Location

091-0326

MassDEP File Number

Has been recorded at the Registry of Deeds of:

Middlesex South

County

9705

Book

6

Page

for: Town of Arlington
Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

12/23/2020

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant

DOCUMENTS REVIEWED

1. Department of Public Works (DPW) Facility Notice of Intent, Arlington, MA, prepared by Weston & Sampson, for the Applicant: Town of Arlington, Michael Rademacher, dated October 22, 2020. Appendices include: (A) Project Description, (B) Alternatives Analysis, (C) Stormwater Report, (D) Project Maps, (E) Project Specifications, (F) Abutters Information, and (G) Photos.
2. Arlington Town Yard Facility, 51 Grove Street Arlington MA NOI Permit Plan Set, prepared by Weston & Sampson, stamped by Laurence F Keegan Jr PE #33708, dated October 21, 2020.
3. Arlington DPW Facility NOI Filing Supplemental Information, prepared by Weston & Sampson, dated November 24, 2020. Attachments include: (1) revised plan sheets C401 (Layout and Materials Plan) and C603 (Grading and Drainage Plan East), (2) Pre vs Post Flows Spreadsheet for NOAA + rainfall, (3) Pre vs Post Flows Spreadsheet for NOAA ++ rainfall, (4) Existing HydroCAD analysis for NOAA++ rainfall, (5) Proposed Existing HydroCAD analysis for NOAA++ rainfall, (6) Specification 01570 Environmental Protection, and (7) Specification 31 12 00.13 Invasive Species.

PUBLIC COMMENTS

4. Email from Sarah Tuttle, dated November 5, 2020.

PROCEEDINGS

The Notice of Intent was filed on October 26, 2020. The Conservation Commission opened the public hearing for the Notice of Intent on November 5, 2020. The hearing was continued with the Applicant's consent to December 3, 2020. The Commission closed the public hearing on December 3, 2020. The Commission deliberated on December 17, 2020 and voted 6-0 to approve the Project with conditions under the Wetlands Protection Act (the "Act") and voted 6-0 to approve the Project with conditions under the Arlington Wetlands Protection Bylaw (the "Bylaw").

**FINDINGS OF FACT AND LAW
UNDER ARLINGTON WETLANDS PROTECTION BYLAW
AND WETLANDS PROTECTION ACT**

- A. This project proposes a new/renovated Municipal Facility to support the Department of Public Works (DPW), Inspectional Services Department (ISD), Facilities, and IT departments at 51 Grove Street. The proposed site includes the current 4.4-acre parcel, used by DPW/ISD, and an adjacent 1.4-acre portion of Town-owned land for a total of 5.8 acres. Sections of the site are within the 100-ft Wetlands Buffer, AURA, and 200-ft Riverfront Area of Mill Brook, as well as floodway and floodplain. The project also involves mitigation including invasive plant removal and native replanting, landscaping, seven rain gardens/bio-filtration landscaped areas, and a new stormwater system with stormwater quality units.
- B. The Project site is located on Grove Street, immediately northwest of the High School. It is bound easterly by a National Grid natural gas facility and the Minuteman Bikeway. Westerly of the property are residences and a grocery store. North of the property, across Grove Street, are residences and Wellington Park. There are six existing buildings on the Public Works site. The Public Works property is approximately 5.8 acres and is predominately paved. The area that is currently being used as a field to the southwest of the buildings, is constructed over an area of contaminated soil and has an impermeable cap just beneath the surface, essentially rendering the field area impervious as well. Site grades are generally flat but there are sections of higher elevations sloping away from Mill Brook.

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Running north to south through the property is Mill Brook. From the property line at Grove Street, the Brook runs in a stone lined channel for approximately 37 feet, before entering a culvert. This channel is a regulatory floodway per FEMA mapping. From the end of the stone channel, the Brook enters a culvert. The culvert daylights at two locations on the property. Each of these openings and the area surrounding them are part of the 200-foot Riverfront Area and 100-year flood zone per FEMA mapping.

- C. The following Resource Areas are present on the site or within 100 feet of the project area: Bordering Land Subject to Flooding, Adjacent Upland Resource Area, Buffer Zone, and Riverfront Area. The Commission finds accurate the delineation of Resource Areas shown on the approved Site Plans.
- D. The Commission approves those portions of the overall project that are within conservation jurisdiction as shown on the referenced plans (reviewed document #2 and #3).

CONCLUSION

Based on the testimony at the public hearings, and review of the application materials and the documents listed above submitted during the public hearings, the Commission concludes that the proposed Project as conditioned will not have significant or cumulative effects upon the interests of the Resource Area values of the Massachusetts Wetlands Protection Act and the Arlington Bylaw for Wetlands Protection when the conditions imposed herein are implemented to protect the Resource Area values. With these conditions contained, the Project meets the performance standards in the Act and Bylaw and implementing regulations.

For the foregoing reasons, the Commission approves this project under the Act and Bylaw with the conditions stated herein the applications for work at 51 Grove Street, the Arlington Department of Public Works Facility.

ADDITIONAL SPECIAL CONDITIONS

In addition to the General Conditions (numbered 1 – 20 above), the Project is subject to the following Additional Special Conditions (under both the Act and Bylaw) only for those portions of the project within the Conservation Commission's jurisdiction:

I. PRE-CONSTRUCTION

- 21. Work permitted by this Order and Permit shall conform to the Notice of Intent, the approved plans and documents (listed above), and oral representations (as recorded in hearing minutes) submitted or made by the Applicant and the Applicant's agents or representatives, as well as any plans and other data, information or representations submitted per these Conditions and approved by the Commission.
- 22. The provisions of this Order and Permit shall apply to and be binding upon the Applicant and Applicant's assignees, tenants, property management company, employees, contractors, and agents.
- 23. No work shall begin under this Order until: (a) all other required permits or approvals have been obtained and (b) the appeal period of ten (10) business days from the date of issue of this Order has expired without any appeal being filed, and (c) this Order has been recorded in the Registry of Deeds. No work shall be started under this Permit until all other necessary permits or approvals have been obtained.

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24. The Applicant shall ensure that a copy of this Order of Conditions and Permit for work, with any referenced plans, is available on site at all times, and that all contractors, site managers, foremen, and sub-contractors understand its provisions.
25. This permit and its conditions, and the referenced and approved site plans listed in this permit shall be included in all relevant bid materials.
26. Prior to starting work, the Applicant shall submit to the Commission the names and 24-hour phone numbers of project managers or the persons responsible for site work or mitigation.
27. Before work begins, erosion and sediment controls shall be installed at the limits of the work area. These will include a silt fence and minimum 12 inch compost filter sock around the entire work area (hay bales are not allowed).
28. The contractor shall contact the Conservation Agent (concomm@town.arlington.ma.us ; 781-316-3012) to arrange for a pre-construction meeting with the onsite project manager to walk through the Order of Conditions and walk the site to confirm the installation and placement of erosion controls prior to the start of any grading or construction work.
29. The contractor shall provide written Notice of the work start date to the Conservation Agent 48 hours prior to start of work.
30. The Commission, its employees, and its agents shall have the right of entry onto the site to inspect for compliance with the terms of this Order of Conditions and Permit until a Certificate of Compliance has been issued.
31. The Commission reserves the right to require an independent environmental monitor to monitor the project and report back to the Commission if it determines one is necessary at any time during the project's construction.

II. POST-CONSTRUCTION

32. When requesting a Certificate of Compliance, the Applicant shall provide a written statement by a registered professional engineer certifying substantial compliance with the plans and setting forth what deviation, if any, exists from the plans approved in the Order shall accompany the request for a Certificate of Compliance; the Applicant shall also provide at that time as-built plans stamped by such a professional.

III. DURING CONSTRUCTION

Dumpsters

33. No dumpsters shall be allowed within the 100 foot Buffer Zone or Adjacent Upland Resource Areas ("AURA") or other Resource Areas.

Stockpiling

34. No uncovered stockpiling of materials shall be permitted within the 100 foot Buffer Zone or Adjacent Upland Resource Areas ("AURA") or other Resource Areas.

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Erosion Control

35. Areas that are disturbed by construction and access activities shall as soon as possible be brought to final grade and reseeded and restabilized, and shall be done so prior to the removal of erosion control barriers.
36. Erosion control measures shall be installed per the approved plans.
37. At least 21 days prior to construction, a written dust mitigation plan using water as a dust control shall be submitted to the Conservation Commission. This dust mitigation plan shall be implemented through the duration of the project.

Equipment

38. No heavy equipment may be stored overnight within 50 feet of the brook and no refueling or maintenance of machinery shall be allowed within the 100-foot Buffer Zone, Adjacent Upland Resource Area, or within any Resource Area.

Sweeping

39. Any dirt or debris spilled or tracked onto any paved streets shall be swept up and removed daily.

Dewatering

40. Any dewatering operations shall conform to the following:
 - (a) Notify the Conservation Commission that dewatering is required.
 - (b) Any catch basins, drains, and outfalls to be used in dewatering operations shall be cleaned out before operations begin.
 - (c) Any water discharged as part of any dewatering operation shall be passed through filters, on-site settling basins, settling tank trucks, or other devices to ensure that no observable sediments or pollutants are carried into any Resource Area, street, drain, or adjacent property.
 - (d) Measures shall be taken to ensure that no erosion or scouring shall occur on public or private property, or on the banks or bottoms of water bodies, as a result of dewatering operations.

Plantings

41. All mitigation plantings and all plantings within resource areas and the buffer zone shall be native and be installed and maintained according to the standards of the American Association of Nurserymen (AAN). No cultivars of native plantings shall be allowed. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**
42. The Applicant is permitted to use the cut-and-dab method for invasive plant management control. The Applicant shall hire a licensed herbicide applicator with at least 3 years of experience. The Applicant shall only use Massachusetts Department of Environmental Protection approved herbicides.
43. All plantings planted and invasive species removed through this project shall be monitored for three years. A survival rate of at least 80% must be maintained for the approved plantings at the end of the third monitoring year. If there is less than an 80% survival rate of the plantings after the third year, the Applicant must submit recommendations for replacements to the Conservation Agent for approval. A monitoring report shall be submitted annually in June for the three year monitoring period, reporting on the health of the new plantings and the success of the invasive plant management.

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44. The Applicant shall notify the Conservation Agent when the invasive removal and planting work along Mill Brook is scheduled so that the Conservation Agent can monitor the work.
45. The Applicant shall protect all area trees per the Town Wetlands Protection Regulations, Section 24 Vegetation Removal and Replacement, protecting trees through securing (not nailing) 2x4 boards, between 6-8 feet in length, around tree base. The boards shall be installed vertically such that one end is installed directly into the ground. Alternative protection measures must be approved by the Commission or its agent.

Chemicals

46. To avoid adding excess nitrogen runoff, the Applicant shall only treat the planted areas within the Commission's jurisdiction with slow release nitrogen fertilizer. Application of this fertilizer cannot occur in the summer, or after storm events. Lawn fertilizer shall only be applied twice a year, in spring and fall. The application of plant nutrients shall otherwise comply with 330 CMR 31.00. No other herbicides or treatment methods are approved unless otherwise noted in this order (see Condition #42). New plantings shall only be fertilized once, during the initial planting year. No pesticides or rodenticides shall be used to treat pest management issues within the 100-ft wetlands buffer, AURA, or other resource areas without prior notification to and review by the Conservation Agent. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

Pervious Surfaces

47. Pervious surfaces shown on the project plans shall be maintained and not be replaced by impervious surfaces. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

Mitigation

48. All mitigation as proposed as part of this project shall remain in perpetuity. The approved planting areas, invasive removal areas, the rain gardens, the water quality units, and the stormwater system shall remain in perpetuity and if replacement is necessary, shall be subject to the approval of the Commission. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

Stormwater

49. The Applicant shall submit an annual affirmation that maintenance of the underground storage chambers and approved water quality units is in place, which shall include the dates of their last service. All other structural stormwater BMPs shall be maintained in accordance with the approved Operation and Maintenance plans. It is sufficient to email the Conservation Agent with a statement of affirmation, and the statement must be submitted by December 31 each year. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**
50. The Applicant shall submit copies of the SWPPP inspection reports to the Conservation Agent within 10 days of the date of each report.
51. The Applicant shall submit a snow storage plan to the Commission for review. No snow storage is permitted in the mitigation planting areas or within any resource areas. **This shall be a continuing**

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condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.

52. The Applicant shall coordinate with the Arlington High School on stormwater management in order to improve climate change resilience and preparedness, and to ensure accommodation of the 100-year storm drainage from the portion of the DPW site that discharges to the High School.



Town of Arlington, Massachusetts

Permit Amendment: 88 Coolidge Road (Continued from 06/01/23).

Summary:

Permit Amendment: 88 Coolidge Road (Continued from 06/01/23).

This public hearing will consider the peer review report for an amendment to an Order of Conditions for construction of a new house at 88 Coolidge Road in the Buffer Zone to a Bordering Vegetated Wetland.

ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	Nobis_submittal_88_Coolidge_Dec_2023.pdf	88 Coolidge Peer Review by Nobis Engineering

12/15/23

Nobis Group, consultant to the Town of Arlington, Massachusetts Conservation Commission, offers the following notes, in italics with yellow highlighting, to the Applicant's November 2023 comment responses, shown below in blue-green highlighting.

Brien Waterman, P.E., Director of Structural Engineering for Nobis reviewed "GSAPlan 10.1" received by Nobis in November 2023, and stated, "From a geotechnical standpoint, the plan appears suitable. They added drains to protect below grade spaces and to protect the concrete slabs."

Sean McDowell, P.E., Nobis Civil Engineer, also reviewed "GSAPlan 10.1" and offered several comments on the plan, attached.

James H. Vernon, Ph.D., Senior Hydrogeologist

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November 1, 2023

Arlington Conservation
Commission Town Hall
Arlington, MA

Re: 88 Coolidge Road, Arlington, MA
Amendment to Order of Conditions (91-278)

To the Commission:

Please find the attached responses to the September 19, 2023 comments generated by the Nobis review of the proposed amendment to the Order of Conditions for 88 Coolidge Road. These updated, responses were prepared by Chad Smurtzer, PE (Structural Engineer); Alfred Taney, PE (Geotechnical Engineer); Albert Gala, PE (Civil Engineer), and are highlighted in blue.

Question 1: Regarding the AAT Letter report dated 2/14/23: The applicant recommends cleaning the bedrock and then pinning the house foundation to the bedrock. What does "cleaning" entail? Does this involve actual removal of rock? What is your engineer's professional opinion on the likelihood that such cleaning might release confined water flow from the top surface or shallow fractures in the rock, causing upwelling of water?

The process of pinning requires drilling holes into the rock, which will create dust and small debris, which must be cleaned away from the surface of the bedrock—this is the cleaning referred to in the requested amendment. The cleaning could be performed with a garden hose to remove

loose dirt so the rock surface can be observed where pinning will occur. The likelihood of the cleaning process causing upswelling is unlikely since the process can be performed with low pressure garden hoses or brushes and buckets of water. High pressure power washing is not recommended.

Nobis Note: Nobis recommends accepting this response.

Question 2: Regarding the Foundation Plan by C. Smutzer, P.E., dated 1/13/23, the notes in the center of the drawing state that the foundation is “assumed to rest entirely on bedrock.” The top surface of the bedrock at the site is known to be very irregular. This means that significant bedrock removal would be needed to accomplish this. Do you agree with this conclusion?

No—foundations are often poured on irregular bedrock—that is the reason for the pinning requirement to allow the foundation to be poured on irregular or sloped bedrock. The bedrock does not have to be flat. The bedrock must be stable, however, and all loose or shattered material must be removed.

Nobis Note: Nobis’ July 24, 2017 letter report to the Town of Arlington noted (pg 4 & pg 11) that six test holes at the site reached “refusal” at depths ranging from 30 to 63 inches. The Nobis report further noted that “refusal” does not necessarily mean that the top of bedrock was reached (could be deeper). Nobis concluded, at that time, that “a degree of uncertainty in the configuration of the bedrock surface is still present.” Nobis now recommends that the Town ask the following questions:

1. Have there been any alterations to the top of the bedrock surface since 2017? YES Please attach a plan that shows the areas where top of bedrock has been altered and contours of the present top of bedrock surface.
2. Is there any new information (borings, test pits, other observations) regarding the three-dimensional configuration of the bedrock surface, acquired since 2017? YES Please attach or reference a document submitted to the Commission in 2023 that provides this information.
3. Based on answers to these two questions, does the Applicant believe that a foundation can be poured on the irregular bedrock at 88 Coolidge, as the bedrock surface is currently configured and characterized? Yes, providing that all loose and shattered material is removed.

Nobis Notes (December 2023): See notes regarding items 1 and 2, above. Regarding item 3, how much loose and shattered material needs to be removed? Is this a minor cleanup, or is excavation that will change the elevation or configuration of the current excavation required?

Question 3: Regarding the same drawing, AAT mention “cleaning” of bedrock but not removal. Is the foundation resting entirely on bedrock consistent with what is proposed by AAT? What risks might be posed by removing significant amounts of bedrock; might this cause groundwater upwelling?

From a structural standpoint, only the loose bedrock is required to be removed—it does not have to be level but is required to be stable with no shattered material. It is my understanding that no more intact/competent rock will be removed and therefore it is unlikely that upswelling will occur.

Nobis Note: Nobis suggests that the Town ask the following questions:

4. Can the Applicant confirm, considering the answer to the questions above, that no more intact/competent rock will be removed? Only loose or shattered material is proposed to be removed.

Nobis Notes (December 2023): See note 3, above.

5. Has the Applicant made observations after large rain or snowmelt events that confirm that no upwelling of water occurs at the site under current conditions? Yes. The applicant has provided the Conservation Commission with 38 reports, over the past year, prepared in response to significant precipitation or snow melt events. There have been no observations of upswelling, or groundwater breakout noted on the property, nor has there been any observation of groundwater flow through the Coolidge Road bedding. The site has shown little, if any, retention of stormwater after significant rain events, and infiltration is rapid across the lot.

Nobis Notes (December 2023): Given that the Commission has received the 38 reports (Nobis has not reviewed) and finds nothing to dispute the conclusion, Nobis recommends accepting this response.

Question 4: Regarding the March 19, 2023 letter from Mary Trudeau, Wetland Consultant, how do you know how deep the weathered, poor quality bedrock in the southwest corner of the proposed foundation extends?

While this cannot be definitively answered without the removal of the loose and/or weathered/cracked portions of the surficial ledge, and the subsequent exposure of stable bedrock, the intent is to remove limited amounts of weathered stone. Often the bedrock stabilizes below grade as it is the exposure to weather which can cause the loosening and cleavage. Based on our initial visual assessment, the amount of material to be removed is estimated at a cubic yard.

Nobis Notes (December 2023): The applicant acknowledges a degree of uncertainty; Nobis believes that the probability of needing to remove a large quantity of weathered rock or excavating to significant depth is low. Nobis recommends that the Commission have an observer on site when this is done and/or require photo or video documentation.

6. Is support of excavation (e.g. sheet piling) anticipated to excavate to top of competent bedrock?

It is anticipated that competent bedrock is not at a depth requiring excavation support.

Nobis Notes (December 2023): Response accepted on the condition that the Commission be informed and provided the opportunity to comment if competent bedrock is deeper than anticipated and requires excavation support.

Based on the Foundation Plans, dated 1/13/2023, Gravel Base is required below the proposed concrete slab. What is the minimum thickness of Gravel Base below the slab? If bedrock is locally shallow in the area of the slab, what is the plan for removal of bedrock? The minimum thickness of the gravel base is 12" (twelve inches). Based on current observations, bedrock does not appear to be locally shallow in the area of the slab, and will not require removal.

Nobis Notes (December 2023): Do site conditions allow emplacement of at least 12 inches of gravel without significant bedrock removal? Is this the case even in the area where the poured foundation is proposed to step up, due to shallow bedrock configuration?

Question 5: What if you have to extend the excavation deeper than the intended grade? Will you then remove more bedrock to lower a larger area down to the southwest corner's grade or will you emplace fill in the low area to even out the excavation? If so, how will this affect drainage?

If the bedrock removal needs to go below grade, engineered fill can be used to backfill the work area. We are looking for either a level surface or stable bedrock to ensure a solid foundation. It is our understanding that no more intact rock removal will occur, and that the removal of weathered or exposed ledge will be the extent of the alterations. The drainage installed on the property to control hydrostatic pressures and runoff shall be designed by the Site Civil Engineer.

Nobis Note: Nobis recommends that the Town should be provided with an opportunity to review the drainage design by the Site Civil Engineer. A drainage design has been attached to this response

Nobis Notes (December 2023): See notes in red on the attached drainage design plan.

Based on the Foundation Plan, dated 1/13/2023, the foundation is assumed to rest entirely on bedrock. The above response appears to indicate that portions of the footing can be placed over engineered fill. Confirm if portions of the footing can be placed over engineered fill. Typically, placing a portion of a footing on bedrock and a portion over fill has the potential to result in undesirable differential settlement.

The engineered fill will be placed in compacted lifts to increase bearing capacity, and isolation joints will be installed at any transition points.

Nobis Notes (December 2023): Nobis has no further comment on this item.

Question 6: In the AAT letter (2/14/23), AAT recommends that pinning the foundation to bedrock should be conditioned on inclusion of a foundation drain system to be designed by a Civil Engineer. Mary, do you agree with AAT's recommendation? Can you please explain who on the team will be designing the foundation drain?

A perimeter drain around the foundation will be required as per the building code, and designed by a Registered Professional Engineer. The perimeter drain will connect the outflow water from the subsurface drainage systems, at different elevations and route it to a new area of crushed stone below the deck/patio. It is expected the pinned foundation walls will have

below surface weep holes to allow drainage from behind the walls to drain into the perimeter drain.

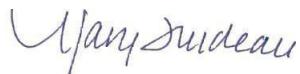
Nobis Note: Nobis recommends that the Town accept this response but be provided with an opportunity to review the drainage design by the Site Civil Engineer.

A perimeter drain plan is attached to this response.

Nobis Notes (December 2023): Please see separate mark-up of "GSAPlan 10.1" by Nobis Civil Engineer, Sean McDowell, P.E.

Thank you for the opportunity to respond to the Nobis comments. Feel free to contact me with any questions.

Sincerely,

A handwritten signature in black ink that reads "Mary Trudeau".

Mary Trudeau, Wetlands Consultant

